

Application: 2024/784

Location: 35-41 Croydon Road, Caterham, CR3 6PB

Proposal: Installation of 1 no static internally illuminated fascia sign, 1 no. static internally illuminated yellow "Golden Arch" on plinth, 1 no. non illuminated yellow vinyl "Golden Arch" applied externally to glazing, 1 no. static internally illuminated double sided. projecting sign, 5 no. non-illuminated parking signs fitted to railing and 1 non-illuminated fascia sign wall mounted sign. Amended plan received 09.10.24. Amended plan received 20.12.24

Ward: Valley

Decision Level: Planning Committee

Constraints - Urban, EA Flooding Zone 2 and 3, SW Flooding, Biggin Hill Safeguarding, Caterham Primary Shopping Area, Caterham Town Centre Area, Source Protection Zone 2 and 3 TDC land terrier 16/62

RECOMMENDATION: APPROVE , subject to conditions

1. This application is reported to Committee as it relates to a Council owned building.

Summary

2. The advertisement signage would not appear as an unduly obtrusive feature in the town centre and would not have a significant adverse impact on public safety or neighbouring amenity. Consequently, approval of advertisement consent is recommended.
3. The proposal has been submitted in tandem with the full application – 2024/697, for the change of use of the premises to a restaurant and take-away – the full description is listed below in the planning history section.

Site Description

4. The proposal site is located on the ground floor of Quadrant House which is a Tandridge District Council owned 1960's building. It is three storeys with retail space on the ground floor and office space above. The proposal site encompasses 4 of the ground floor units and the lower ground floor area to the rear of the building. It lies on the west side of Croydon Road in the urban area of Caterham. The 4 units have previously been a charity shop, Pedricks recycling shop and two units were used by a motor repairs business.
5. Following on from a recent refurbishment the first and upper floor front elevation has a living 'green' wall which will remain as a feature.
6. The building fronts onto Croydon Road and to the rear the ground slopes by one storey between the front and rear. There is car parking at basement level which is accessed from the service road- Croydon Road to the rear.

Relevant History

7. The site has an extensive history, the most relevant cases are listed below:

2021/56 - Refurbishment of Quadrant House including:

- thermal insulation,
- new windows, doors and curtain walling,
- living green wall to Croydon Road facade,
- 3 floor roof terrace facing Croydon Road,
- new escape staircases and balustrade to walkway to Highfield Drive elevation,
- new perforated metal screens to basement carparking,
- new lit signage, and
- photovoltaic arrays and condenser units on roof. Granted 18/06/2021

2021/56/NMA1 - Non-material amendment for site boundary adjustment, minor amendments to layout of proposed fire escape stairs to West elevation and minor amendments to layout/design of associated escape bay fenestration. Omission of previously proposed ramp into Quadrant House North. Refused 18/08/2022

2021/56/Cond1 - Details pursuant to the discharge of Condition 4 (Details of the materials) of planning permission ref: 2021/56 dated 18/06/2021 (Refurbishment of Quadrant House including:

- thermal insulation,
- new windows, doors and curtain walling,
- living green wall to Croydon Road facade,
- 3 floor roof terrace facing Croydon Road,
- new escape staircases and balustrade to walkway to Highfield Drive elevation,
- new perforated metal screens to basement carparking,
- new lit signage, and
- photovoltaic arrays and condenser units on roof.) Approval of conditions details 14/01/2022

2021/56/Cond2 - Details pursuant to the discharge of Condition 3 (Green walls and maintenance plan), of planning permission ref: 2021/56 dated 18th June 2021:

(Refurbishment of Quadrant House including:

- thermal insulation,
- new windows, doors and curtain walling,
- living green wall to Croydon Road facade,
- 3 floor roof terrace facing Croydon Road,
- new escape staircases and balustrade to walkway to Highfield Drive elevation,
- new perforated metal screens to basement carparking,
- new lit signage, and
- photovoltaic arrays and condenser units on roof.) Approval of conditions details 28/03/2022

2024/697 - Change of use of Class E (retail units) to a mixed Class E (Restaurant) and Sui Generis takeaway use and associated external works (including, shop front alterations, plant and provision of motorcycle parking.)(Amended Supporting Statement and Noise Assessment received 01.08.24) - Updated Transport Statement and Updated Delivery Management Plan received 31.10.24. Amended Transport Statement and amended Delivery Management Plan and Litter Management Plan received 6.12.24 Not yet determined.

Key Issues

8. The key issues are the impact of the proposal on public safety and neighbour amenity.

Proposal

9. The application seeks advertisement consent for the following: Installation of 1 no static internally illuminated fascia sign, 1 no. static internally illuminated yellow "Golden Arch" on plinth, 1 no. non illuminated yellow vinyl "Golden Arch" applied externally to glazing, 1 no. static internally illuminated double sided. projecting sign, 5 no. non illuminated parking signs fitted to railing and 1 non illuminated fascia sign wall mounted sign. Amended plan received 09.10.24. Amended plan received 20.12.24

10. Installation of signage:

Frontage

Sign 1 – 1 x static internally illuminated (static) fascia sign – this would be located above the previous second unit and would have a span of 4.1m with lower case and upper-case letter of .465m with the McDonald's logo – customer letters would be on 100mm deep aluminium sign frame with back trays and returns colour coated white with 3mm Opal (050) Perspex sign face. It would be illuminated by LED lights of 600cd/m². Backing colour would be RAL7022.

Sign 2 – 1 x static internally illuminated 'Golden Arch' on a plinth. The amended plan shows this would be placed inside the building to face the main road. It would be designed in yellow acrylic material RAL1023 have a height of 1.43m and a width of 1.6m.

Sign 3- would be 1 x non illuminated yellow vinyl 'golden arch' applied externally to the former third unit glazing. This would be to a height of 2.3m and would be colour RAL 1023.

Sign 4 – would be 1 x internally illuminated projecting sign located at the former fourth unit, 2.3m above ground. It would have a height of 630mm and width of

420mm and depth of 100mm, it would be in RAL 7022 with the 'golden M' sign
 It would be illuminated by LED lights of 600cd/m2.

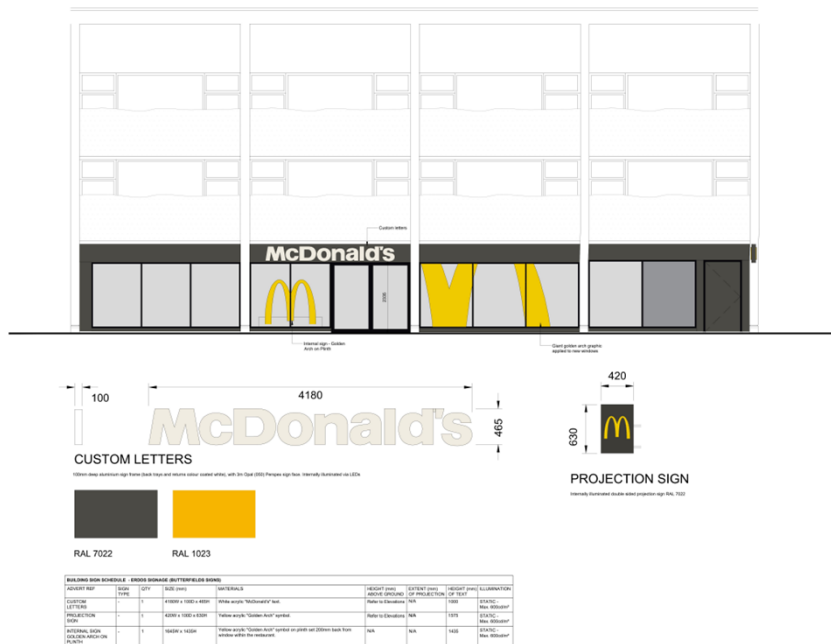


Figure 1 proposed front elevation as amended

11. Rear elevation facing service road

Signs 5 – 9 would be parking signs fitted to the railing at the rear of the site as in the figure below, these are shown as being 850mm maximum above ground. The signs would be designed in aluminium with applied vinyl graphics. Dimension are provided as 600mm in height, 220mm in width.

The signs will direct the courier drivers to the parking bays and make clear the bays are for McDonald's courier drivers.

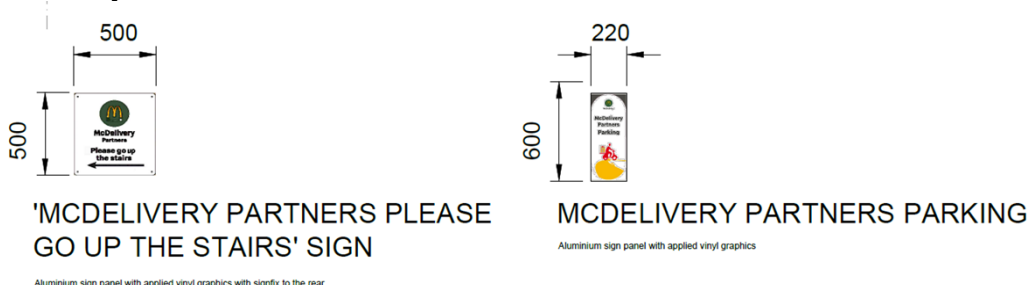


Figure 2 signage for delivery partners

Adjacent to the parking signs would be 1x a McDelivery sign. This would be secured to the wall and at a height of 2.2m above ground. It would be a panel sign designed in aluminium with applied vinyl graphics. The submitted plan states the 'panel sign would be secured to wall with colour matched screws and caps'. The signs would

direct courier drivers to the parking and McDonald's partner food deliver drivers to the access.

1 x vinyl graphic sign would be applied to the access door at the rear of the building. The wording would state 'McDelivery Partners Only'. It would make clear that this door is to be used by couriers for McDonald's only.

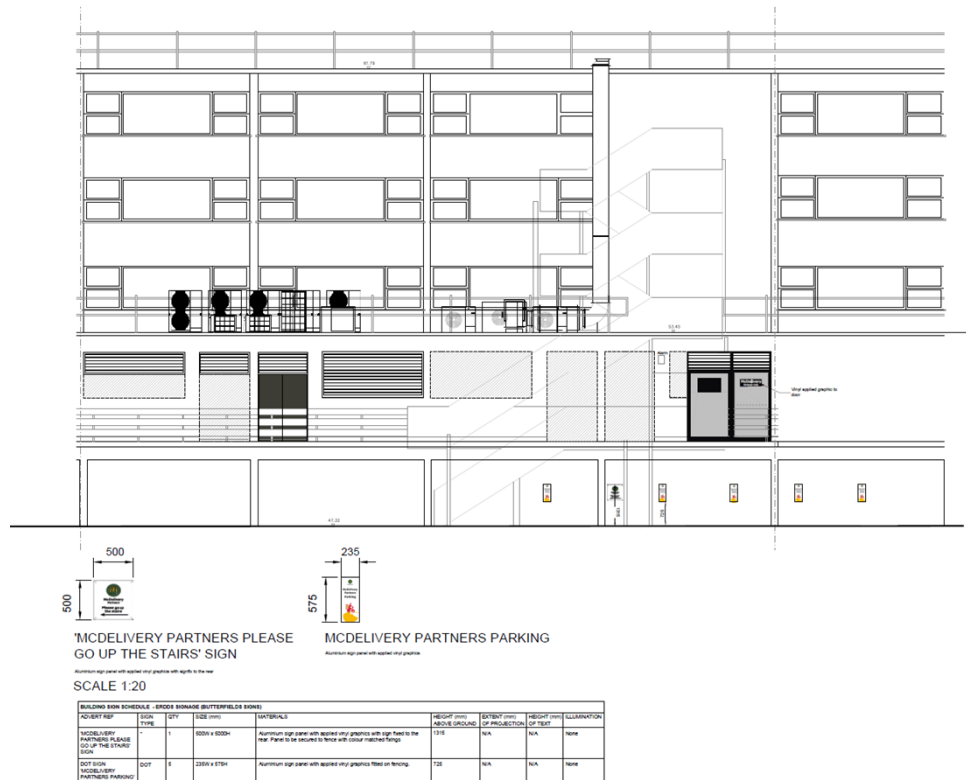


Figure 3 proposed rear elevation

12. National Legislation and Advice

Town and Country Planning (control of Advertisements) (England) Regulations 2007

National Planning Policy Framework (NPPF) (2024)

Planning Practice Guidance (PPG)

13. Consultation Responses

14. County Highway Authority – initial comments – 27.09.24 Before I am able to provide a full response, please could you request that the Applicant clarifies whether the plinth-mounted sign would protrude into the public highway?

15. These proposals include details of signage to the rear of the proposed McDonalds store, including signage denoting the delivery driver parking. Please note that this parking is subject to the ongoing planning application reference 2024/697 and that the details of the parking provision are a subject of that application and are yet to be determined. Any parking signage approved

as part of this application (2024/784) may therefore be required to change depending on the outcome of application 2024/697.

16. Please request that the Applicant provides the above amendments/information in sufficient time so that we may respond before your deadline for determination. Please ensure that the response to this letter is in writing and all appropriate documentation, as requested, is attached.
17. County Highway Authority later comments 23.10.24 - the proposed signage has been considered and the CHA are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway.
18. The County Highway Authority therefore has no highway requirements concerning these proposals however it should be noted that the parking is subject to the ongoing planning application reference 2024/697 and that the details of the parking provision are a subject of that application and are yet to be determined. Any parking signage approved as part of this application (2024/784) may therefore be required to change depending on the outcome of application 2024/697.
19. Caterham Valley Parish Council -03.10.24 Caterham Valley Parish Council believe that this application cannot be determined prior to the Change of Use application 2024/697. To approve this application before 2024/697 would give the impression to this Council that the decision for the Change of Use was a fait accompli. All the issues raised by this Council to 2024/697 need to be addressed before any consideration is given to 2024/784.
20. The proposal 2024/784 is very dominant on the two units at Quadrant House, and it should be less obtrusive in line with advertising on other units in the town. There seems to be little detail on the plinth as to its size and location. Only signage that is attached directly the unit, on either window or wall, should be permitted. There should be no illumination that is brighter than the surrounding shops, offices and residential properties. Any illumination at height should not cause light pollution for residential properties in the hours of darkness. The signage at the back should also remind delivery drivers that they are in a mixed area that includes residential and as such all noise must be kept to a minimum. It is unacceptable to use the fire escape as an access route for the delivery drivers. We would not support a plinth on the pavement, and it is not clear where the plinth would go otherwise. The details are not clear. More information is required to make an informed decision.
21. Caterham Valley Parish Council – 25.10.24 later comments - repeating point that this application cannot be determined prior to the Change of Use application 2024/697. To approve this application before 2024/697 would give the impression to this Council that the decision for the Change of Use was a fait accompli. All issues raised by this Council to 2024/697 need to be addressed before any consideration is given to 2024/784. The proposal 2024/784 is very dominant on the two units at Quadrant House, and it should be less obtrusive in line with advertising on other units in the town. Only signage that is attached directly the unit, on either window or wall, should be permitted. There should be no illumination that is brighter than the surrounding shops, offices and residential properties. Any illumination at height should not cause light pollution for residential properties in the hours of darkness and any illumination on the building must not be outside of trading hours. The signage at the back should also remind delivery drivers that they are in a mixed area

that includes residential and as such all noise must be kept to a minimum. It is unacceptable to use the fire escape as an access route for the delivery drivers. There is not enough detail regarding the signs and location for this Council to make an informed decision. Parking signs for this proposal should not be installed on a public highway. Surrey Council have responded to say 'Any parking signage approved as part of this application (2024/784) may therefore be required to change depending on the outcome of application 2024/697.'

22. Surrey Fire and Rescue - Compliance with the Regulatory Reform (Fire Safety) Order 2005

The above application (including any schedule) has been examined by a Fire Safety Inspecting Officer and it appears to demonstrate compliance with the Fire Safety Order in respect of means of warning and escape in case of fire. It should be ensured that if any material amendments to the proposal as contained within the application are intended, a further consultation is carried out.

The premises may be inspected in due course in accordance with Surrey Fire and Rescue Service's risk based inspection programme and the information in the Building Regulations and Fire Safety Statutory Consultation notes below, should be considered prior to the start of works.

Observations under the Building Regulations 2010

The above application (including any schedule) has been examined by a Fire Safety Inspecting Officer and it appears to demonstrate compliance with the Regulations,

Building Regulations and Fire Safety Statutory Consultation Notes:

The following information should be considered prior to the start of works:

Fire Risk Assessment

Compliance with the Building Regulations 2010 will normally ensure compliance with the Fire Safety Order in respect of means of warning and escape in case of fire. However, the responsible person is advised to carry out a fire risk assessment of the proposals at this stage, to identify any risks that might require remedial measures when the premises is occupied, as a result of the nature of the occupancy and/or processes carried on there. Any such measures that are identified should be incorporated into the current design. Your attention is drawn to the series of publications produced by the Department for Communities and Local Government (CLG), which provides information for the responsible person about the Fire Safety Order.

These publications are available from Government Services and Information website at:

<https://www.gov.uk/workplace-fire-safety-your-responsibilities/fire-safety-advice-documents> .

Responsibility for ensuring that a building is provided with appropriate fire safety arrangements rests with the responsible person, once the building is occupied. The responsible person should, therefore, ensure that the fire safety arrangements in place are adequate and comply fully with the requirements of the Fire Safety Order.

Fire Safety Information

Fire safety information in accordance with Regulation 38 of the Building Regulations 2010 should be provided to the responsible person at the completion of the project or when the building or extension is first occupied.

This information should take the form of a fire safety manual and form part of the information package that contributes to the fire risk assessment that will need to be carried out under the Regulatory Reform (Fire Safety) Order 2005.

Goodwill Advice

Passive fire protection measures, particularly fire stopping, fire barriers and fire resisting compartmentation, restricts the spread of smoke and fire through a building through hidden areas such as voids. We recommend that careful attention is given to this detail during construction. Certification of this work can be beneficial to confirm the suitability of the structure to meet its performance requirement lay out in this design application.

Automatic Water Suppression Systems (AWSS)

Automatic Fire Suppression Systems (AFSS).

Surrey Fire and Rescue Service (SFRS) would strongly recommend that consideration is given to the installation of AWSS/AFSS (ie; Sprinklers, Water Mist etc) as part of a total fire protection package to:

- protect life;
- protect property, heritage, the environment and our climate;
- help promote and sustain business continuity; and
- permit design freedoms and encourage innovative, inclusive and sustainable architecture.

The use of AWSS/AFSS can add significant benefit to the structural protection of buildings in the event of a fire. Other benefits include supporting business recovery and continuity if a fire happens.

SFRS are fully committed to promoting Fire Protection Systems for both business and domestic premises.

23. Public Representations/Comments

24. Third Party Comments 4 comments in total were received with the following summarised responses as below:

Against - 4	comment
Principle of development	Until decision is made on the change of use application 2024/697 which the Parish council and numerous others have raised concerns over as well) it seems inappropriate to be asked to comment on this application. It feels that in commenting we as residents are accepting the conversion of 4 retail units into a large commercial food preparation hub by McDonalds; a 'hub'

	which is obviously intended to feed a moped delivery service.
Design and appearance	All the efforts to rejuvenate the town will be lost if this McDonalds 4-unit production kitchen goes ahead
	Blight on the street – out of keeping with small scale shops
	McDonalds is trying to be over the top with the number of signs and how intrusive they are
	Signs will be contrary to the green living wall and signs will blight our Valley
	Unclear as to the location of signs. Trust the Council will ask applicant to re submit so that it is clear for residents to comment upon before the Council vote on it.
	Do not object to the application but Golden arch on a plinth is too much. A fascia sign and projecting sign should be sufficient for people to locate McDonalds. Golden arch will detract from the overall look of the High Street.
Investment on improvements	Council is spending so much money of redevelopment – doubt they would want the appearance harmed by the plinth sign.
Light pollution and health	Signs will light up the homes of residents whether they like it or not.
	Extra light pollution bad for environment
	Illuminated signs will add to light pollution and Golden glow infuse bedrooms and affect health of residents
Timing	If permitted the signs must be turned off as soon as this super-kitchen is closed each night and be no brighter than any other shop sign in the Valley.
	Hours must be the same as other restaurants in Caterham valley.

25. Assessment

26. The NPPF 2024 paragraph 141 states ‘the quality and character of places can suffer when advertisements are poorly sited and designed. A separate consent process within the planning system controls the display of advertisements, which should be operated in a way which is simple, efficient and effective. Advertisements should be subject to control only in the interests of amenity and public safety, taking account of cumulative impacts’.

27. Impact on public safety and highways

28. The proposed signage will not overhang the highway or cause an obstruction. The Surrey County Highway Authority were also consulted on the proposal and have deemed that the scheme would not adversely impact on highway safety; consequently, no highway requirement were requested. Given the above, it is considered that the presence of the signage in the town centre would not result in a distraction to drivers nor result in an adverse impact on highways safety or public safety subject to conditions.

Impact of the proposal on amenity

29. Comments have been received in respect of the illumination, intrusive and dominant nature of the signage and it illuminating rooms of residents living opposite the site and the resultant detrimental impact that this would have on the health of neighbouring residents. Additional comments are in respect of the timing of the lit signs and a request that if permitted, the signs are switched off and closing time.
30. The dimensions, locations and details of the signage are shown on the submitted plans. These range from static non illuminated fascia signage, internally located and illuminated 'Golden Arch' on a plinth and non-illuminated vinyl 'golden arch' on the glazing, static internally illuminated double sided projecting sign, at the back of the unit parking signs on the railing, directional sign and sign on the wall and further sign on the rear door.
31. Whilst the above comments are noted regarding the lit signage and size and design of the signs, given that highway safety and amenity are the main considerations, the signage on the frontage would be at ground floor level and would direct customers to the site.
32. Moreover, the site is in the town centre where there are a range of other commercial units with signage including the newly opened Lidl. Therefore, it is considered that the scale of the advertisement is appropriate for the site and is not considered to cause significant harm to the amenity of the surrounding area
33. Other matters – Comments have been raised in respect of the use of the fire exit stairs by couriers. This matter was directly addressed to the Fire Safety Officer who verbally considered this as a low risk. However, should planning permission be granted for the change of use the officer verbally confirmed that a site inspection would be made. As has been noted on the application for change of use 2024/697, these matters would be dealt with as part of Building Regulations.

Conclusion

34. The advertisement signage would not appear as an unduly obtrusive feature within the character of the area and would not have a significantly negative impact upon public safety or neighbouring amenity. As such the advertisement consent is recommended for approval.
35. For the above reasons it is concluded that the proposal would comply with the provisions of the National Planning Policy Guidance (NPPG) and the National Planning Policy Framework (NPPF) 2024.

36. The recommendation is made in light of the National Planning Policy Framework (NPPF) 2024, Town and Country Planning (Control of Advertisements) (England) Regulations 2007 and the Government's Planning Practice Guidance (PPG).

37. All other material considerations, including third party comments, have been considered but none are considered sufficient to change the recommendation.

RECOMMENDATION:

APPROVE, subject to conditions

1. The period of express consent for the advertisement display hereby approved shall expire on 14 January 2030.

Reason: To comply with Regulation 14(7) of the Town and Country Planning (Control of Advertisements) Regulations 2007. Any advertisement may continue to be displayed after this date subject to the same conditions as set out in the Consent and the power of the Local Planning Authority to require discontinuance of the display under Regulation 8.

2. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

No advertisement shall be sited or displayed so as to—

- (a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);
- (b) obscure, or hinder the ready interpretation of, any traffic sign, railway signal or aid to navigation by water or air; or
- (c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.

Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.

Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.

Reason: To comply with Regulation 14 (1) and Schedule 2 of the Town and Country Planning (Control of Advertisement) Regulations 2007.

Informative

1. This decision refers to drawings numbered 8669-SA-2268-P009C received 9.10.24, 8669-SA-2268-P009B, 8669-SA-2268-AL01B, 8669-SA-2268-P010B, , 8669-SA-2268-P002A, 8669-SA-2268-ALA01A and 8669-SA-P010C received 20.12.24. No variations from these drawings will be permitted unless previously authorised by the Council in writing.

2. The development has been assessed against Government Guidance as set out in paragraph 67 of the National Planning Policy Framework and the Planning Practice Guidance – Town and Country Planning (Control of Advertisements) (England) Regulations 2007, and material considerations. It has been concluded that the development, subject to the conditions imposed, would accord with the regulations and there are no other material considerations to justify a refusal of permission.
3. The Local Planning Authority has acted in a positive and proactive way in determining this application, as required by the NPPF (2024), and has assessed the proposal against all material considerations including the presumption in favour of sustainable development and that which improves the economic, social and environmental conditions of the area, planning policies and guidance and representations received.